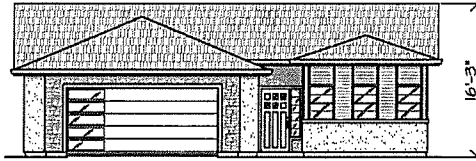


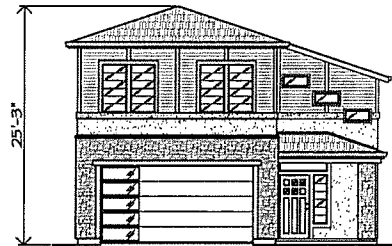
Plan 1542 A



Plan 1542 B



Plan 1716 A



Plan 1716 B



Plan 2102 A



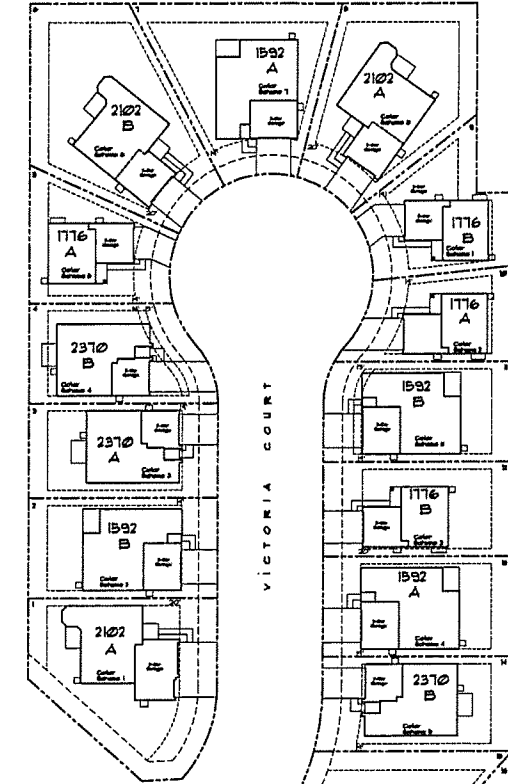
Plan 2102 B



Plan 2370 A



Plan 2370 B



Architect:
 Plans:
 Checked by: J. J. J.
 Drawn by:
 Scale: 1/4" = 1'-0"
 Date: 1/20/22

SITE PLAN
 1" = 30'

REVISIONS	BY

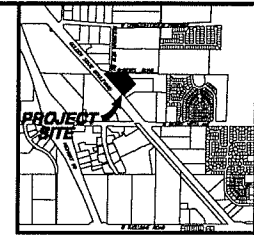
OH14
RAMSON
 CONSTRUCTION & DEVELOPMENT
 2811 Central Expressway
 Suite 100, San Francisco, CA 94134
 Phone: 415.774.7200
 Fax: 415.774.7202

MONARCH PLACE
 TURLOCK, CALIFORNIA
 SITE PLAN AND
 ELEVATIONS
 RESIDENTIAL SUBDIVISION
 16 SINGLE FAMILY HOMES

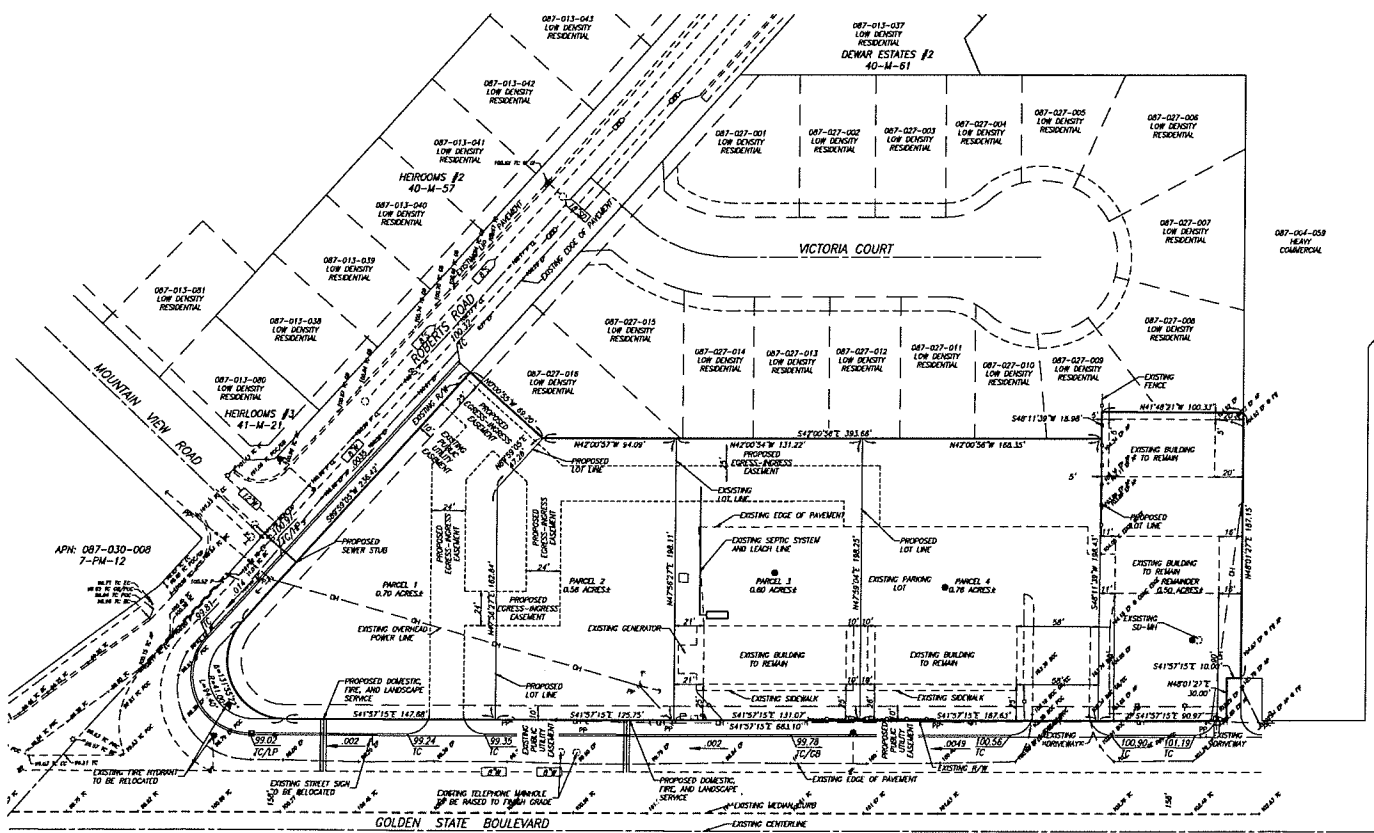
DATE	1/20/22
SCALE	1/4" = 1'-0"
DRAWN	
JOB	
SHEET	

VESTING TENTATIVE PARCEL MAP GOLDEN STATE PARCEL MAP TURLOCK, CALIFORNIA

BEING ALL OF LOT 17 AND REMAINDER AS SHOWN ON THAT CERTAIN
SUBDIVISION MAP FILED FOR RECORD ON SEPTEMBER 5, 2006 IN BOOK
43 OF SUBDIVISION MAPS AT PAGE 34, STANISLAUS COUNTY RECORDS,
SITUATED IN THE SOUTHWEST 1/4 CORNER OF SECTION 4, TOWNSHIP 5
SOUTH, RANGE 10 EAST, MOUNT Diablo BASE AND MERIDIAN, IN THE
CITY OF TURLOCK, STANISLAUS COUNTY, STATE OF CALIFORNIA



VICINITY MAP



OWNER AND SUBOWNER
PRO DEVELOPERS INC
3811 CROWELL ROAD
TURLOCK CA 95360-8824
(209) 684-5700

- STATEMENT OF SUBOWNER**
(AS REQUESTED BY CITY OF TURLOCK MUNICIPAL CODE, CHAPTER 11-3 ARTICLE 2)
- 1) SITE ADDRESS: 2830 ROBERTS RD
TURLOCK CA 95369-8834
 - 2) ASSESSORS PARCEL NO. 087-027-017, 087-027-018
 - 3) EXISTING GENERAL PLAN: HEAVY COMMERCIAL
 - 4) EXISTING ZONING: HEAVY COMMERCIAL (C-10)
 - 5) PROPOSED ZONING: PLANNED DEVELOPMENT
 - 6) EROSION CONTROL PER CITY OF TURLOCK ORDINANCES AND STANDARDS.
 - 7) WATER SUPPLY: BY CITY OF TURLOCK.
 - 8) SEWAGE DISPOSAL: BY CITY OF TURLOCK.
 - 9) STORM DRAINAGE: BY CITY OF TURLOCK.
 - 10) RESTRICTIVE COVENANTS, IF ANY, TO BE SUBMITTED AT THE TIME OF FINAL PARCEL MAP.
 - 11) TREE TYPE AND LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
 - 12) WATER SUPPLY AND SEWAGE DISPOSAL SHALL BE COMPLIED WITH AS PER CHAPTER 11-3 ARTICLE 1 OF THE MUNICIPAL CODE.
 - 13) ALL IMPROVEMENTS SHALL BE INSTALLED OR CONSTRUCTED AT THE TIME OF DEVELOPMENT.
 - 14) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH CHAPTER 11-3 ARTICLE 1 OF THE MUNICIPAL CODE, REGULATIONS AND STANDARDS.
 - 15) OWNER RESERVES THE RIGHT TO SELL PARCELS ONLY.

- NOTES**
- 1) ELEVATIONS SHOWN ARE BASED ON A FIELD SURVEY BY BENCHMARK ENGINEERING INC. ON 4/22/2021
 - 2) TOTAL AREA OF THIS PARCEL IS 3.12 ACRES CONTAINING 4 PARCELS AND A REMAINDER.
 - 3) THE MAP IS TIED TO THE CALIFORNIA STATE PLANE COORDINATE SYSTEM (1983 NAD83).

LEGEND

EXISTING	
Water Main	—○—
Fire Hydrant	—●—
Standard Manhole	—○—
Storm Inlet	—○—
Water Line	—○—
Sanitary Sewer	—○—
Storm Drain	—○—
Clear Cutter and Sewer	—○—
Power Pole	—○—
Street Sign	—○—

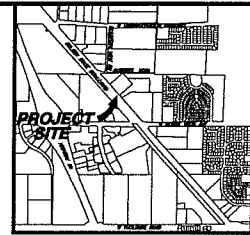
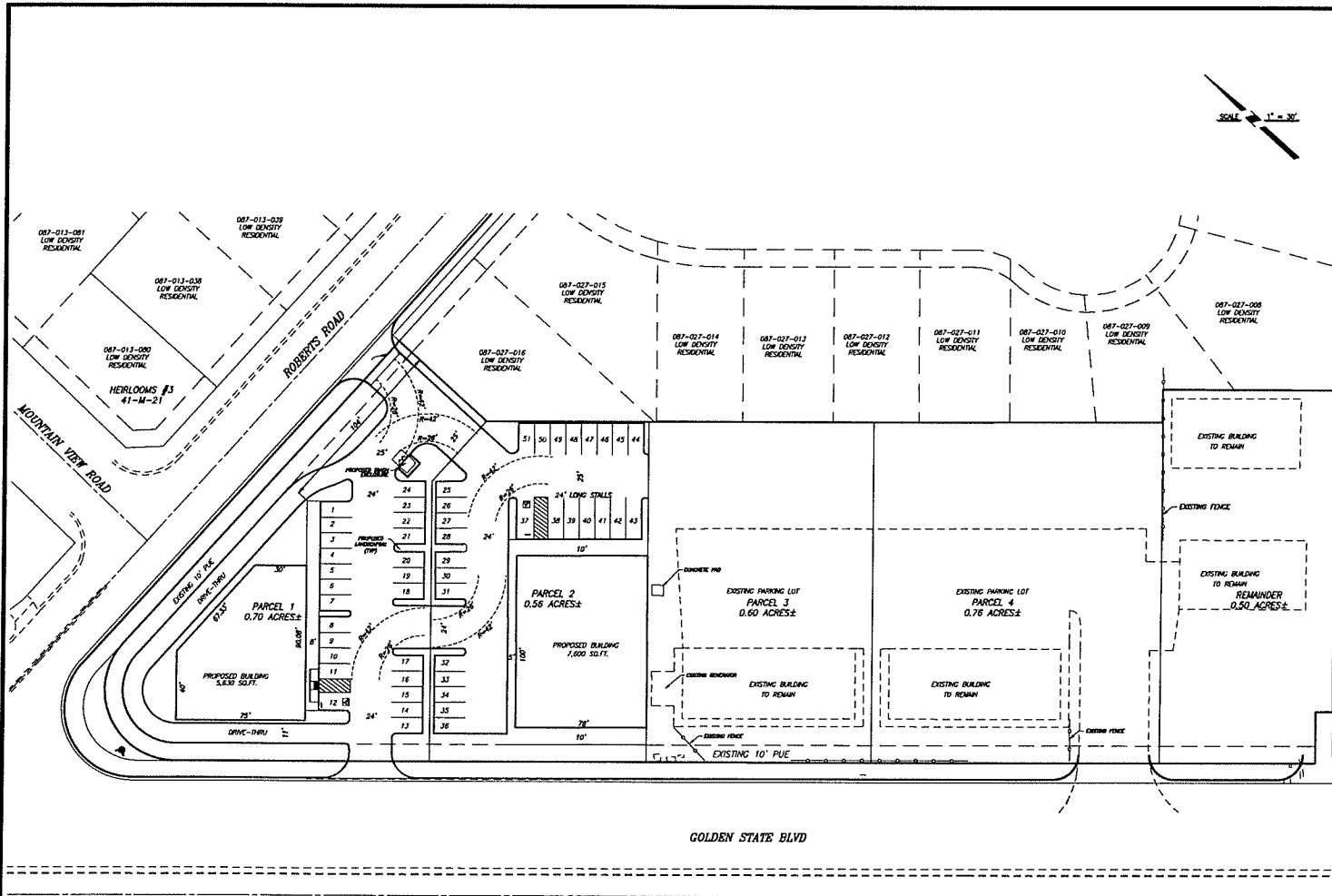
NO.	DATE	DESCRIPTION

BENCHMARK ENGINEERING, INC.
CIVIL ENGINEERING & LAND SURVEYING
115 17TH STREET • MOORESTOWN, CALIFORNIA • 95364
(209) 346-6600

VESTING TENTATIVE PARCEL MAP
GOLDEN STATE PM
TURLOCK, CALIFORNIA

JOB NO. 24630
DATE: 8/21/2021
DRAWN BY: GO
CHECKED BY: MR.
SCALE: AS SHOWN

SHEET NUMBER
1
OF 1 SHEETS



OWNER AND SUBOWNER

PRD ENTERPRISES INC
 3811 GOWEN ROAD
 TURLOCK CA 95352-8854
 (209) 634-5700

GENERAL NOTES

- (AS REQUESTED BY CITY OF TURLOCK MUNICIPAL CODE, CHAPTER 11-5 ARTICLE 7)
- 1) SITE ADDRESS: 8250 ROBERTS RD TURLOCK CA 95322-8854
 - 2) ASSESSORS PARCEL NO. 087-027-017, 087-027-018
 - 3) EXISTING ZONING: PLANNED COMMERCIAL
 - 4) EXISTING ZONING: HEAVY COMMERCIAL (C-1)
 - 5) PROPOSED ZONING: PLANNED DEVELOPMENT
 - 6) EROSION CONTROL: PER CITY OF TURLOCK ORDINANCES AND STANDARDS.
 - 7) WATER SUPPLY: BY CITY OF TURLOCK.
 - 8) SEWAGE DISPOSAL: BY CITY OF TURLOCK.
 - 9) STORM DRAINAGE: BY CITY OF TURLOCK.
 - 10) RESTRICTIVE COVENANTS, IF ANY, TO BE SUBMITTED AT THE TIME OF FINAL PARCEL MAP.
 - 11) TREE TYPE AND LOCATION SHALL BE DETERMINED BY THE LANDSCAPE ARCHITECT.
 - 12) WATER SUPPLY AND SEWAGE DISPOSAL SHALL BE COMPLIED WITH AS PER CHAPTER 11-5 ARTICLE 1 OF THE MUNICIPAL CODE.
 - 13) ALL IMPROVEMENTS WILL BE INSTALLED OR CONSTRUCTED AT THE TIME OF DEVELOPMENT.
 - 14) ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN COMPLIANCE WITH CHAPTER 11-5 ARTICLE 1 OF THE MUNICIPAL CODE, REGULATIONS AND STANDARDS.
 - 15) OWNER RESERVES THE RIGHT TO SELL PARCELS ONLY.

DATE	
REVISIONS	
DESCRIPTIONS	
NO.	

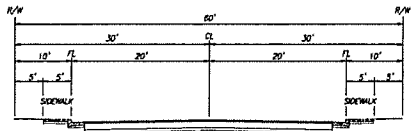
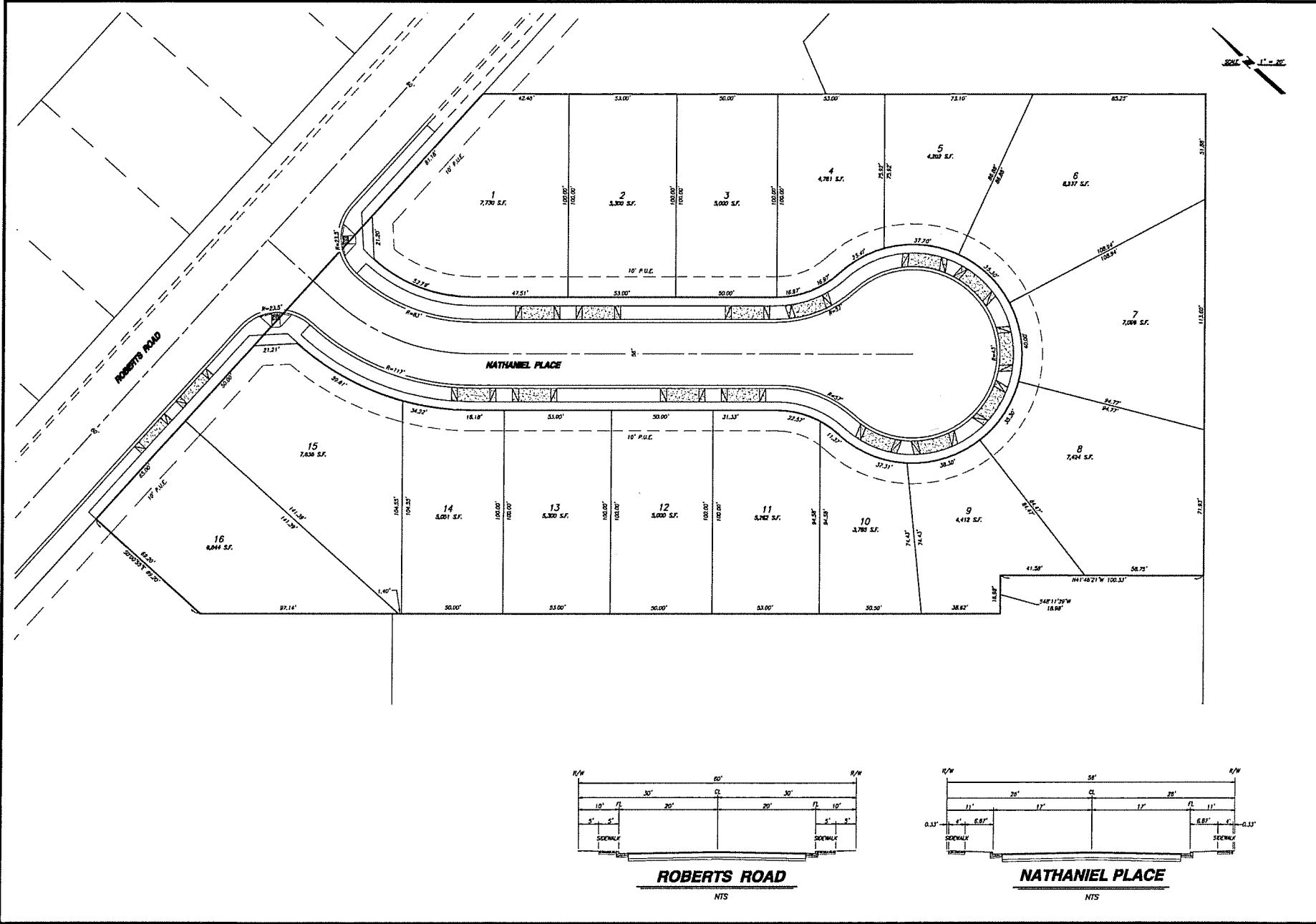
BENCHMARK ENGINEERING & LAND SURVEYING, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 815 17th STREET, SACRAMENTO, CALIFORNIA 95833
 (209) 544-8800 FAX: (209) 544-8805

SITE PLAN
GOLDEN STATE PM

TURLOCK CALIFORNIA

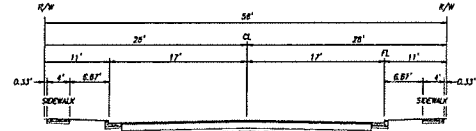
JOB NO.	21633
DATE	6/22/21
DRN BY	CH
CHK BY	JH
SCALE	AS SHOWN
SHEET NUMBER	1
OF 1 SHEETS	





ROBERTS ROAD

NTS



NATHANIEL PLACE

NTS

DATE	
REVISIONS	
DESCRIPTION	
BY	

BENCHMARK ENGINEERING, INC.
 CIVIL ENGINEERING & LAND SURVEYING
 815 1774 STREET • MODESTO, CALIFORNIA • 95354
 (209) 546-8800

LOT DIMENSION PLAN AND SECTION VIEWS
 WITHIN THE CITY OF GARDEN GROVE
MONARCH PLACE
 TURLOCK, CALIFORNIA

JOB NO.	240000
DATE	8-23-21
DRWN.	SD
CHECKED	MC
SCALE	AS SHOWN

SHEET NUMBER
2
 OF 3 SHEETS