

SCOPE OF WORK

PROPOSED TENANT IMPROVEMENT/RE-BUILD OF VACANT STRUCTURE. THE EXISTING STRUCTURE WAS PREVIOUSLY USED AS A BILLIARD HALL. THE PROPOSED PROJECT CONSISTS OF A TENANT IMPROVEMENT TO THE EXISTING 2267 SQ. FT. BRICK STRUCTURE AND A DEMO/REBUILD OF THE EXISTING 1026 SQ. FT. WOOD FRAMED STRUCTURE AT THE REAR. THE PROPOSED TENANT IMPROVEMENT/RE-BUILD INCLUDES CONSTRUCTION OF (N) ADA RESTROOMS, (N) BAR AREA WITH SEATING, (N) OFFICE, (N) STORAGE ROOMS AND AN OUTDOOR SEATING AREA. ALL PROPOSED WORK IS CONTAINED WITHIN THE PROPERTY LINES WITH NO WORK IN THE PUBLIC WAY.

BUILDING CODES

ALL SITE BUILT PORTIONS OF THIS PROJECT SHALL CONFORM TO THE FOLLOWING CODES:
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN BUILDING CODE

BUILDING CODE ANALYSIS

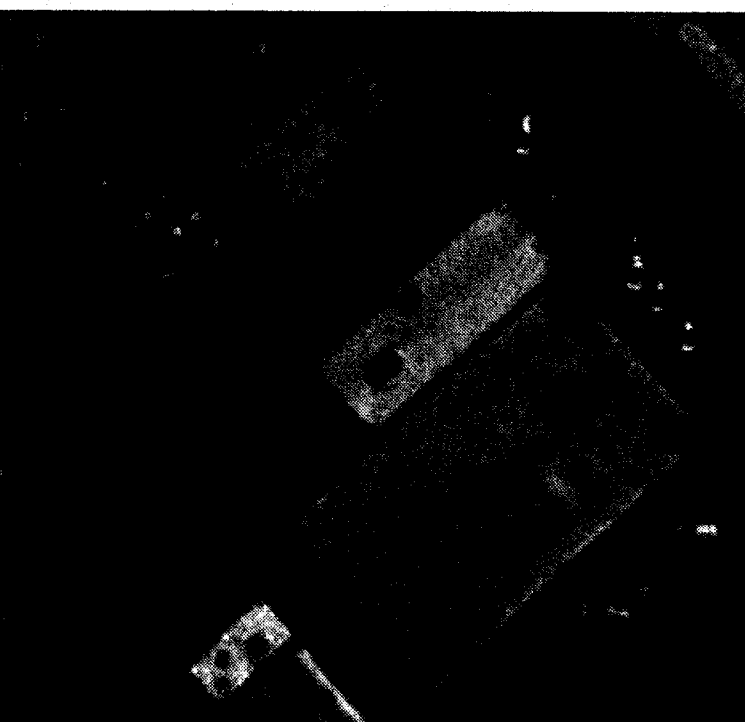
DESCRIPTION OF USE: BAR/LOUNGE
OCCUPANCY TYPE: A2/S2
CONSTRUCTION TYPE: V-B
BUILDING AREA: FRONT OF BUILDING IS TI. MAIN FLOOR 2267 SQ. FT.
REAR AREA IS NEW CONSTRUCTION OF EXISTING STRUCTURE.
REAR GROUND LEVEL IS 1066 SQ. FT.
REAR 2ND LEVEL IS 1066 SQ.FT.
TOTAL 2196 SQ. FT.
FIRE SPRINKLERS: T.B.D.

SITE STATISTICS

1. ASSESSORS PARCEL NUMBER: 061-018-004
2. PRESENT ZONING: C-1
3. PARCEL SIZE: 9360 SQ. FT. / .08 AC.
4. SITE ADDRESS: 128 S. CENTER STREET TURLOCK, CA.

SHEET INDEX

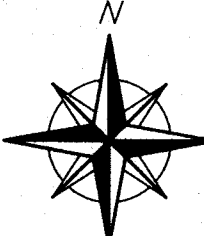
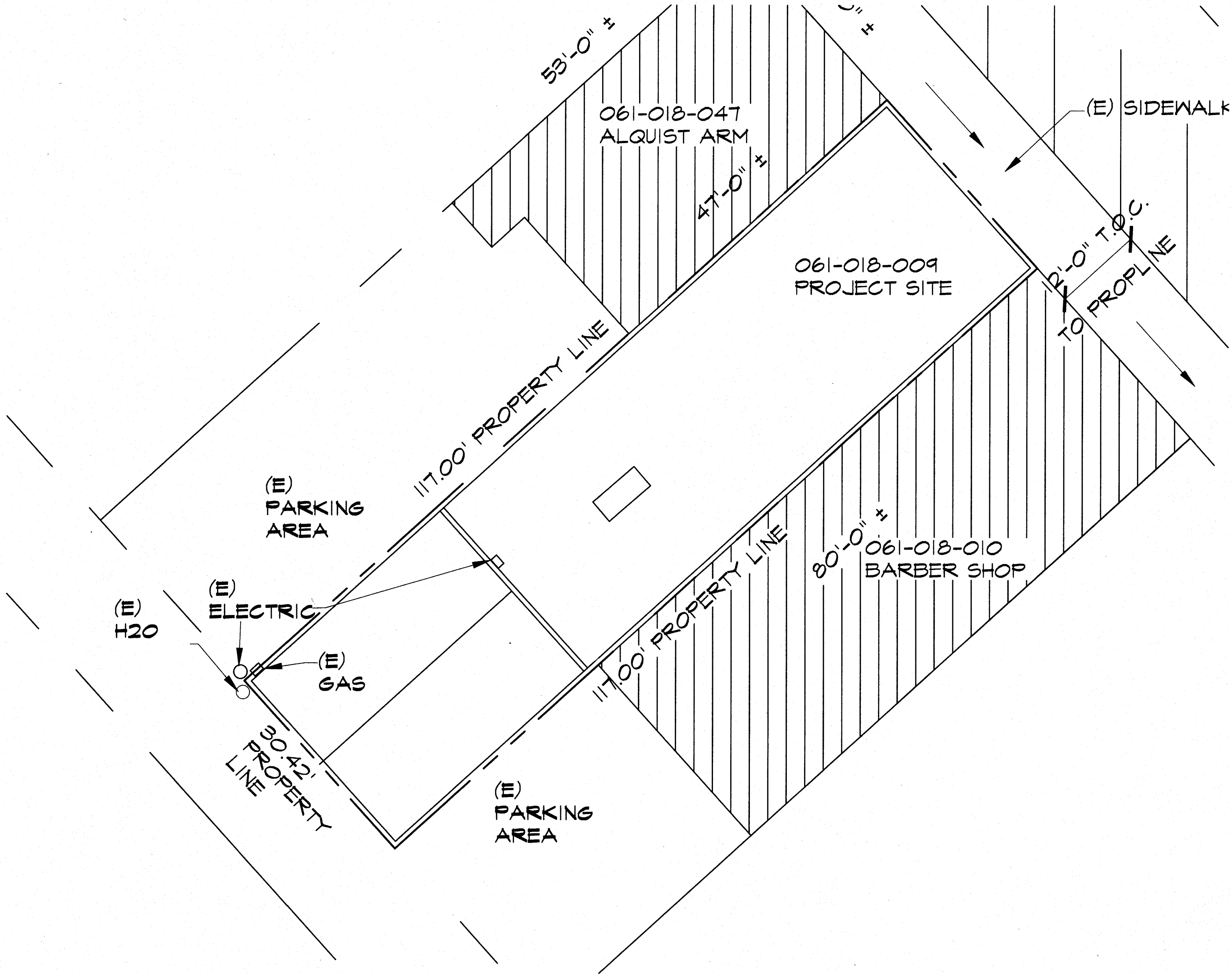
SHEET NO.	DESCRIPTION
TI	TITLE SHEET/SITE PLAN
AI-1	FLOOR PLAN
AI-2	EXISTING FLOOR PLAN
A2	ELEVATIONS
A3	GRESS PLAN
S1	STRUCTURAL NOTES
S2-1	TYPICAL DETAIL SHEET
S2-2	TYPICAL DETAIL SHEET
S3	FLOOR/ CEILINGS
S4	FOUNDATION
S5	CROSS SECTIONS
E1	ELECTRICAL
E2	ELECTRICAL
E3	ENERGY
E4	ENERGY
M1-M6	MECHANICAL
PI-P4	PLUMBING
HC1	ADA DETAILS
HC2	ADA DETAILS
CS1	CALGREEN STANDARDS
CS2	CALGREEN STANDARDS
CS3	CALGREEN STANDARDS



VICINITY MAP

SCALE: N.T.S.

128 S. CENTER ST. TURLOCK, CA. 95380



ENLARGED SITE MAP

SCALE: 1"=20'-0"

GENERAL NOTES

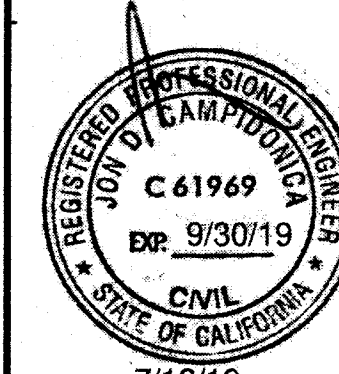
- General**
1. All work shall be performed in accordance with the applicable sections of the California Building Code (CBC) 2016 Edition as currently amended by the jurisdiction having authority and the additional publications listed herein.
2. Architectural control committee and/or homeowner's association rules, regulations and guidelines as well as any recorded covenants, codes and restrictions (CC&Rs) shall be strictly adhered to before, during and after the construction process. The general contractor shall be solely responsible for all such items stipulated in these documents including but not limited to hours of operation, material storage and trash removal.
3. Unless explicitly stated in these construction documents, by note or clarification letter, the entire scope of work represented by these documents shall be the sole responsibility of the general contractor.
4. These construction documents represent the design intent of the architect/engineer based on dimensions of existing site and/or field conditions. Actual conditions may require modifications of the construction details to achieve architect/engineer's design intent. The contractor shall notify architect/engineer in writing of any discrepancies related to existing site and/or field conditions prior to continuing any work.
5. It is the responsibility of the contractor to record all omissions or conflicts between the various elements of the construction documents and bring them to the attention of the architect/engineer prior to commencing any work. Any deviation from the conditions shown in these construction documents shall require written approval from the architect/engineer.
6. Do not scale the drawings. Written dimensions shall take precedence over scale dimensions. Any discrepancies between the drawings and the actual conditions shall be brought to the attention of the architect/engineer prior to commencing any work.
7. These drawings shall be read and coordinated with all other contract drawings including vendor drawings and subcontractor shop drawings. Specific dimensions, details and notes shall take precedence over general notes, typical details, minimum code values or scaled information on plans or sections. Items not specifically detailed shall generally follow other similar details. Discrepancies, conflicts and/or unclear conditions shall be brought to the attention of the Owner and/or architect/engineer immediately.
8. The contract documents are complimentary. Work required to be done by one document and not others shall be done as if required by all.
9. Contractors and sub-contractors shall ensure that all work is performed in a professional and workmanlike manner by skilled mechanics of the trade. Sub-contractors and suppliers are hereby notified that they are to confer and cooperate and cooperate fully with each other during the course of construction to determine the exact extent of the overlap of each other's work and to successfully complete the execution of the work in a timely manner.
10. The contractor and sub-contractors shall be solely responsible for construction means, techniques, sequences, and procedures, and for the safety precautions and programs in connection with this project. The architect/engineer shall not be responsible for jobsite conditions or compliance with safety regulations governing work performed on this project. All contractors and sub-contractors performing work on, or related to this project shall conduct their operations so that all employees are provided a safe working environment and the public is protected and shall comply with the "Occupational Safety and Health Regulations" of the U.S. Department of Labor, and with any state and local safety regulations. The contractor agrees to assume sole responsibility for jobsite safety conditions during the course of construction of this project and that this requirement shall defend, indemnify and hold harmless the owner's agent and the architect/engineer from any and all liability, real or alleged, in connection with the performance of work on this project.
11. The contractor and sub-contractors shall be solely responsible for the design, installation, adequacy and safety of erection bracing, shoring, temporary supports, formwork and all other temporary construction structures and shall be responsible for any damages to the work prior to the application of all shear walls, roof and floor diaphragms, and finishes. The structure is not designed as a stable unit until after all components are in place, and therefore the contractor shall provide all shoring and bracing to insure the stability of any and all parts of the project during construction. Care must be taken during construction not to exceed the design live load capacity of the structure (see loading values on structural plans). Construction materials shall be spread out to avoid overloading individual members.
12. Periodic jobsite visits by the owner or owner's agent and/or architect/engineer do not constitute review or approval of construction techniques but are intended solely for the purpose of checking general compliance of the work with the project construction documents.
13. The contractor and sub-contractors shall at all times indemnify and hold harmless the owner or owner's agent and the architect/engineer against all liability for claims and liens for labor performed or materials used or furnished to be used on this project, including any cost or expenses for attorney fees and all incidental or consequential damages resulting to the owner or owner's agent and architect/engineer from such claims. Further, in case suit on such claim is brought, the contractor shall defend said suit at their own cost and expense, and will pay and satisfy any such lien or judgement as directed by the court (or American Arbitration Association).
14. Builder's Set: This set of drawings has been prepared sufficiently enough to obtain a building permit. All materials and methods of construction necessary to to complete the project are not necessarily described in this "Builder's Set". The implementation of these drawings requires the contractor to be thoroughly knowledgeable with the applicable codes, types of construction and methods of construction specific to this project.
15. The contractor and sub-contractors shall make no substitutions, changes or modifications without written approval from the architect/engineer.
16. Unless specifically shown or noted on these drawings, no structural member shall be cut, notched, bored or otherwise weakened without the permission of the engineer.
17. Shop Drawing Review: Review of shop drawings by the architect/engineer is for general compliance with the information given in the contract documents. The contractor will remain responsible for errors of detailing, fabrication, and for the correct fitting of all structural members including coordination with other trades. Any proposed detail change shall be clearly identified on the shop drawings with appropriate supporting documentation included for proper evaluation of the change.

RECEIVED
DEC 15 2022
CITY OF TURLOCK
PLANNING DIVISION

PROPOSED TENANT IMPROVEMENT

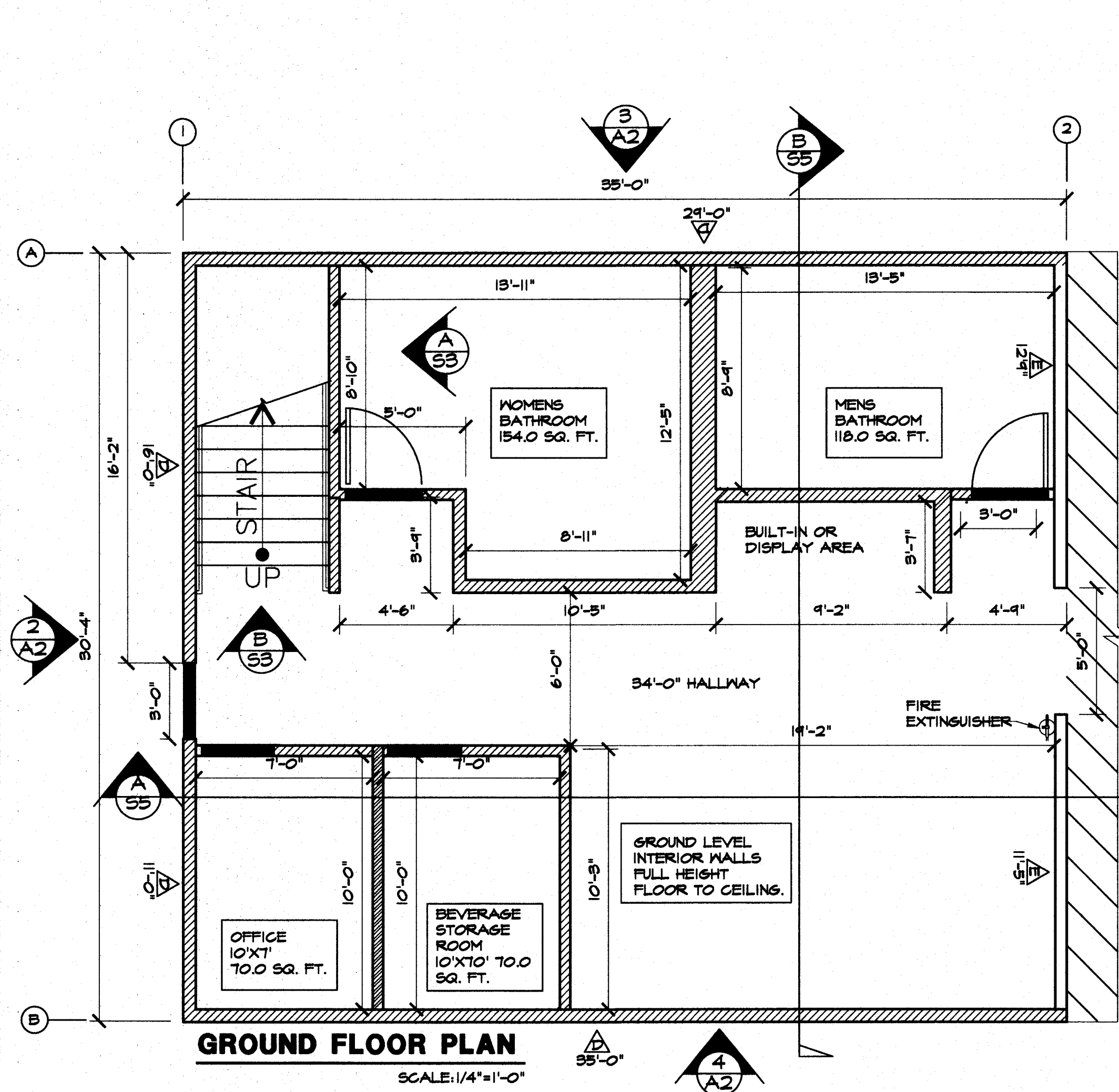
39 MILESTONE
128 S. CENTER ST.
TURLOCK, CA. 95380
408-316-7505
APN: 061-018-009

Jon D. Campdonica P.E.
2613 Turner Road
Ceres, Ca. 95307
209-484-9782

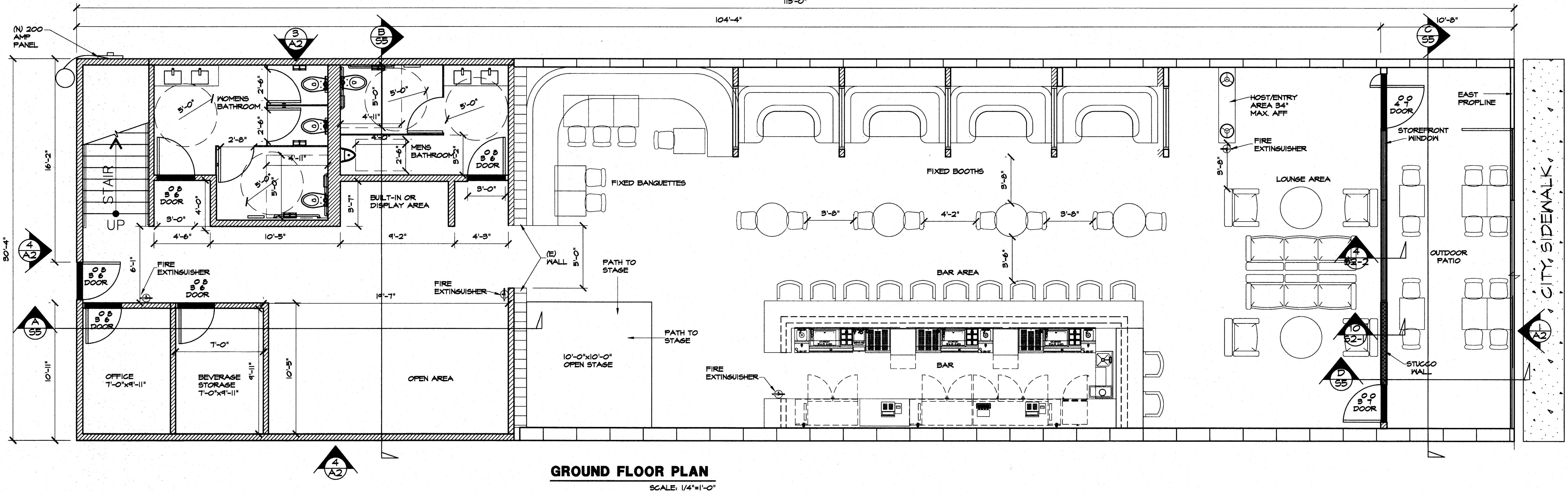
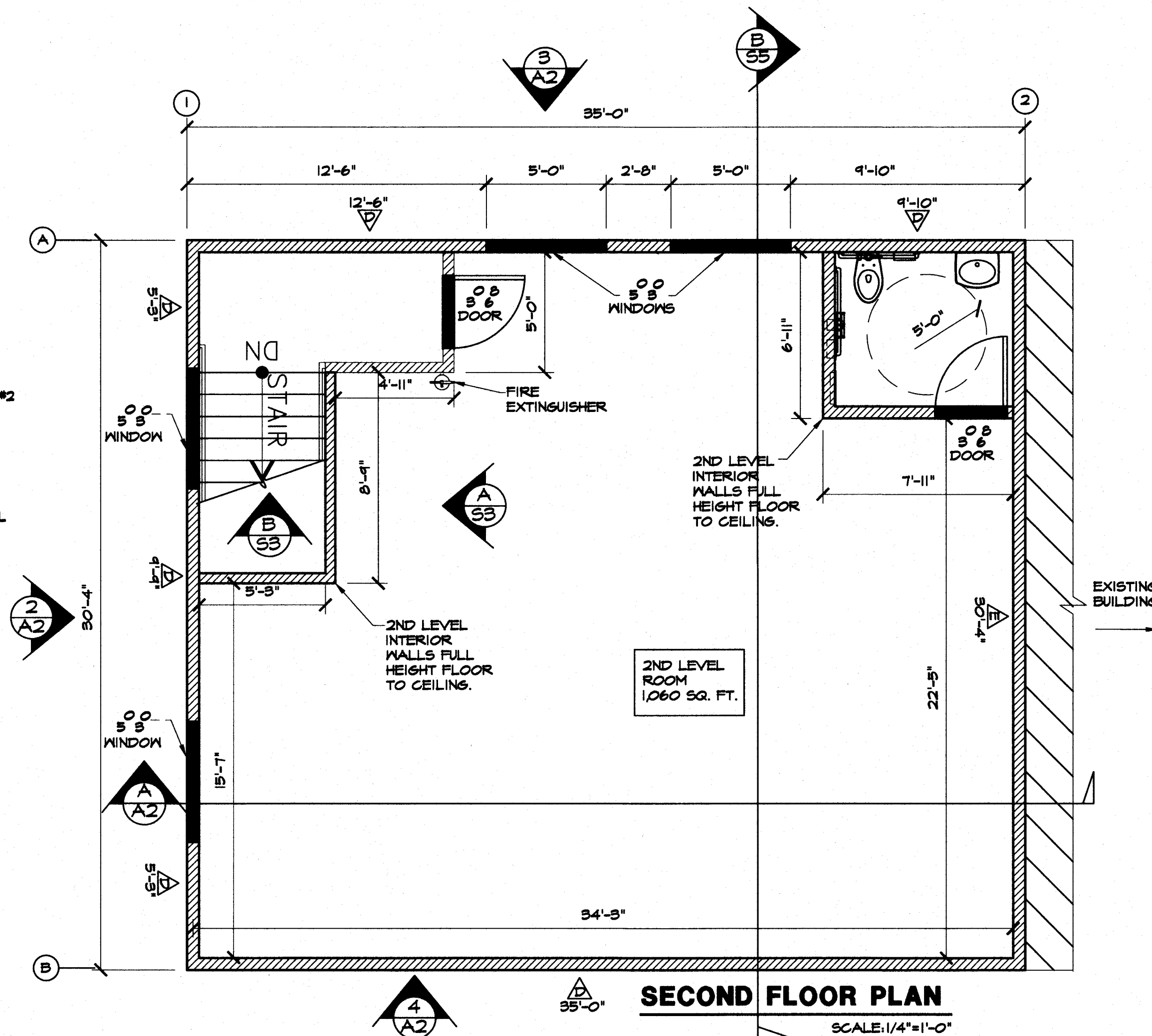


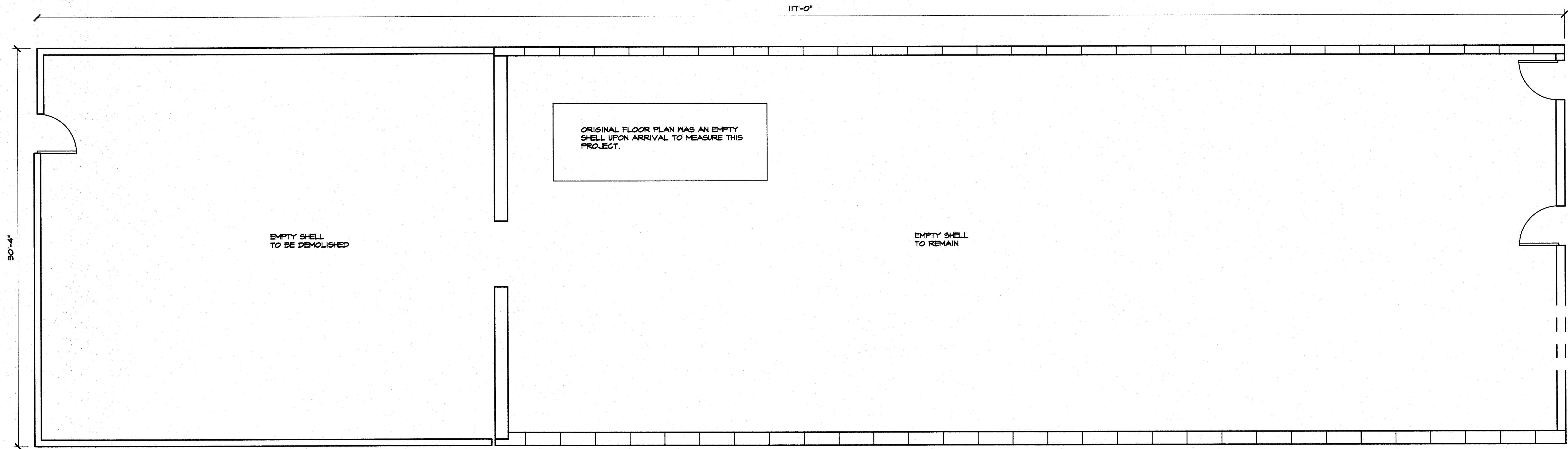
DRAWN BY: Frank Rodriguez
CHECKED BY: JDC
DATE: 9/20/21
JOB NO: 00001 TURP
SHEET NO.

T1



(N) ALL EXTERIOR WALL FRAMING TO BE 2x6 #2 DF
GROUND LEVEL INTERIOR WALLS TO BE 2x6 #2 DF
SECOND FLOOR INTERIOR WALL FRAMING TO BE 2x6 #2 DF
2ND LEVEL FLOORING IS 48x16x1 1/8" PLYWOOD
GROUND LEVEL CEILING HEIGHT IS 10'-0". 2ND LEVEL CEILING HEIGHT IS 9'-0".





ORIGINAL FLOOR PLAN

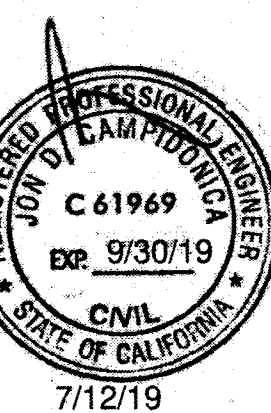
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Rev	Revisions	App	Date
1	Submission		2/13/2019
2	PLAN REVIEW 1		4/22/2019
3			
4			
5			
6			
7			
8			
9			
10			

PROPOSED TENENT IMPROVEMENT

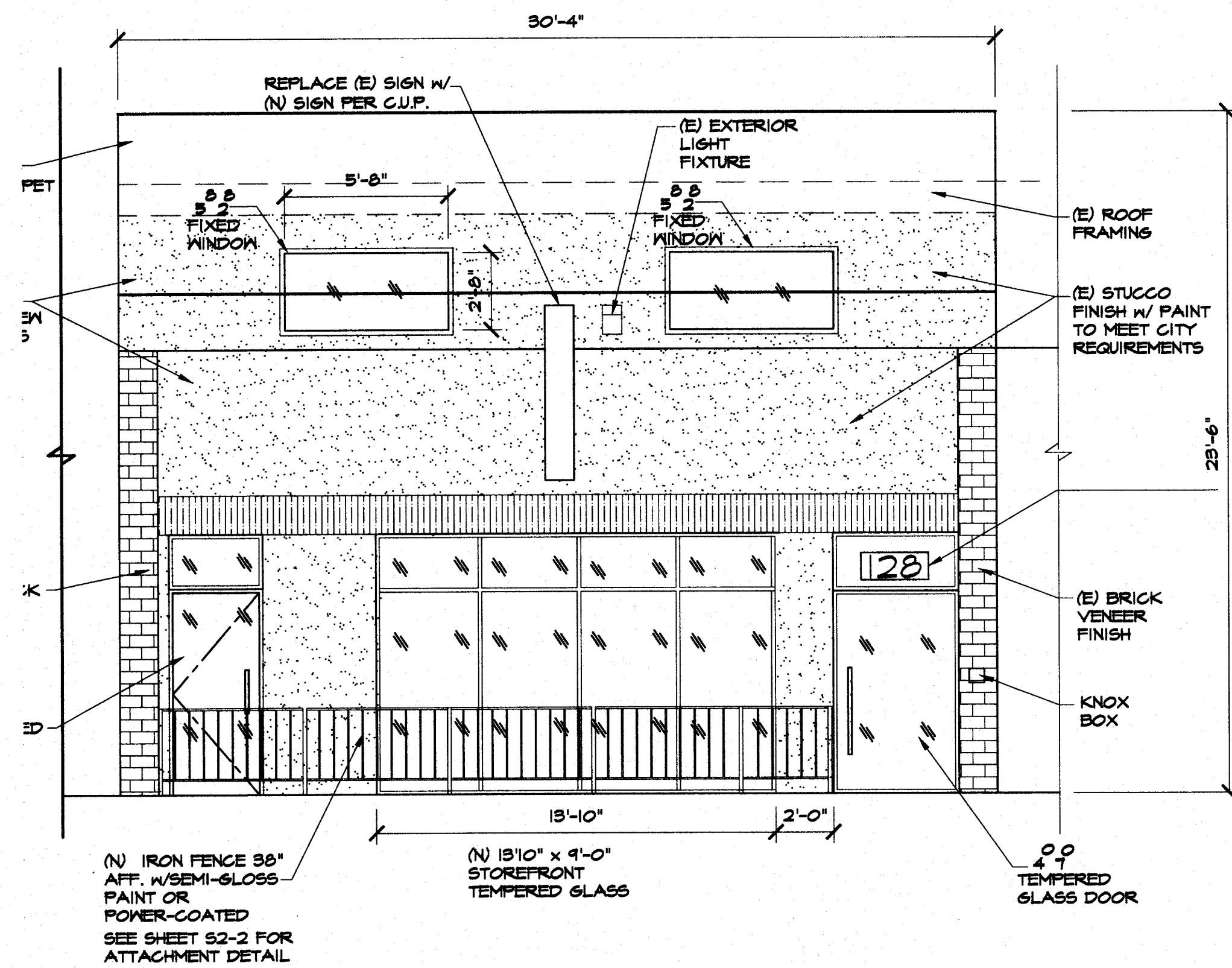
39 MILESTONE
128 S. CENTER ST.
TURLOCK, CA. 95380
408-316-7505
APN: 061-018-009

Jon D. Campidonica P.E.
2613 Turner Road
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209-484-9782



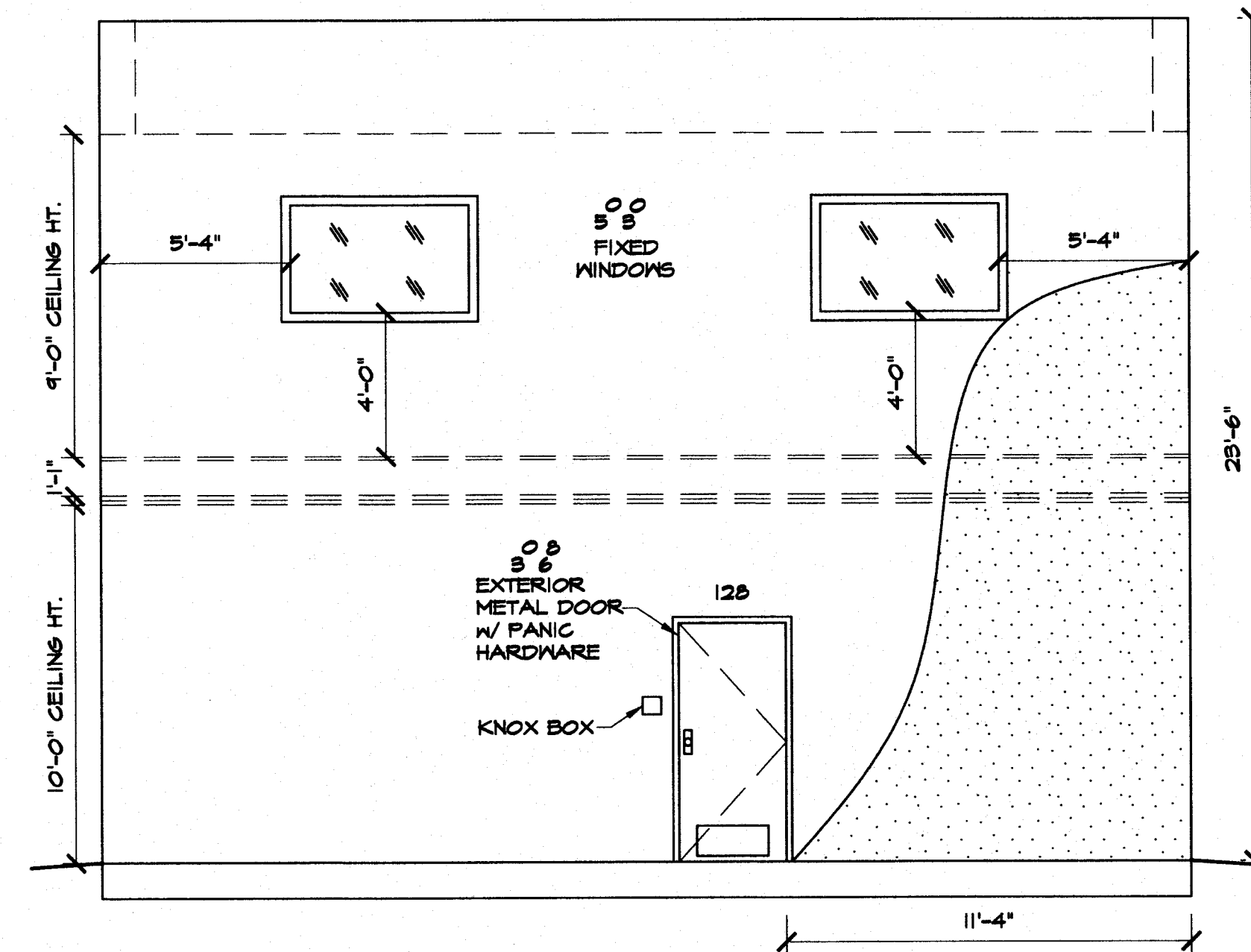
DRAWN BY: Frank Rodriguez
APP BY: JC
DATE: 3/20/19
JOB NO: 00000000
SHEET NO.

A1-2

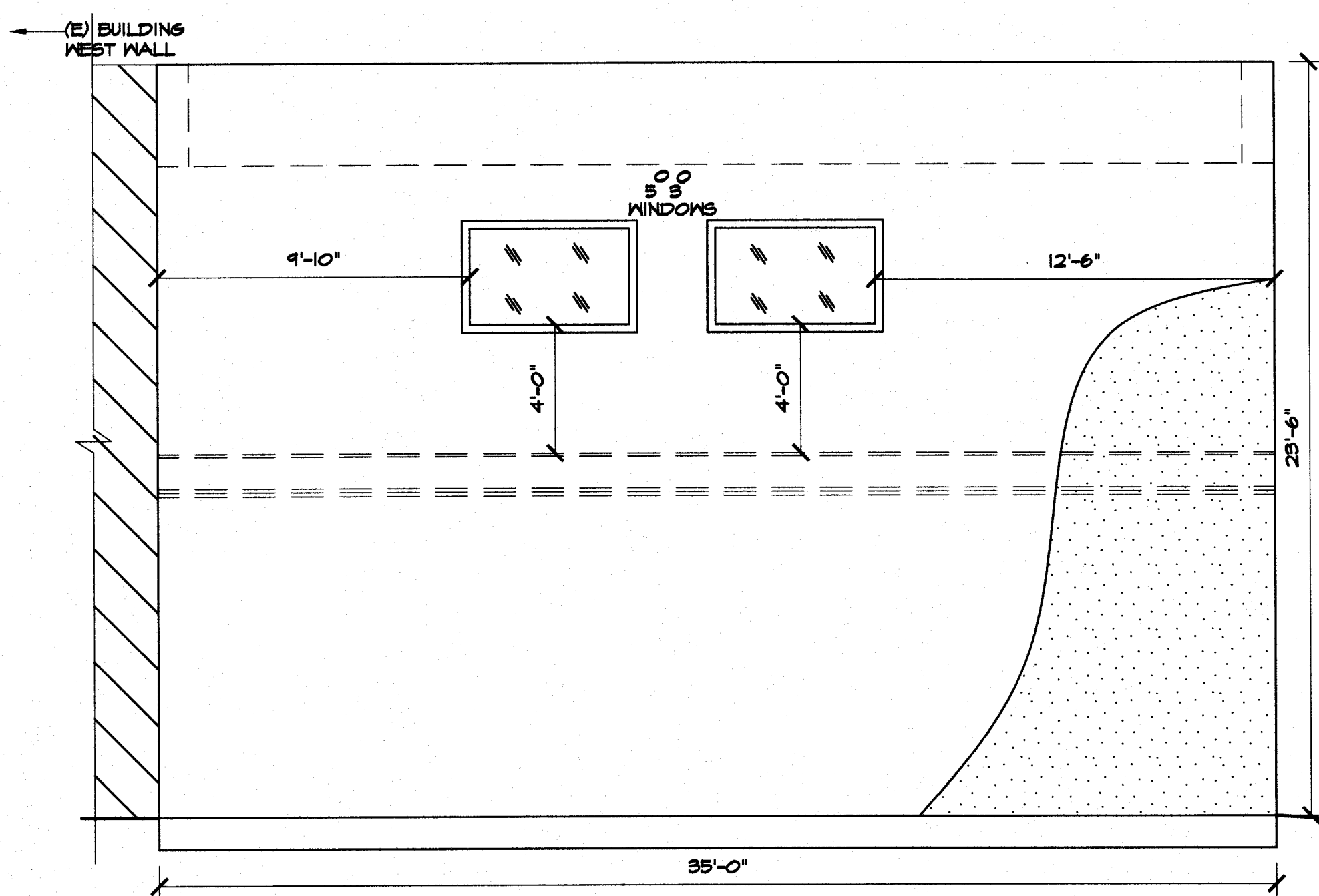


1 EAST ELEVATION S. CENTER STREET
SCALE: 1/4"=1'-0"

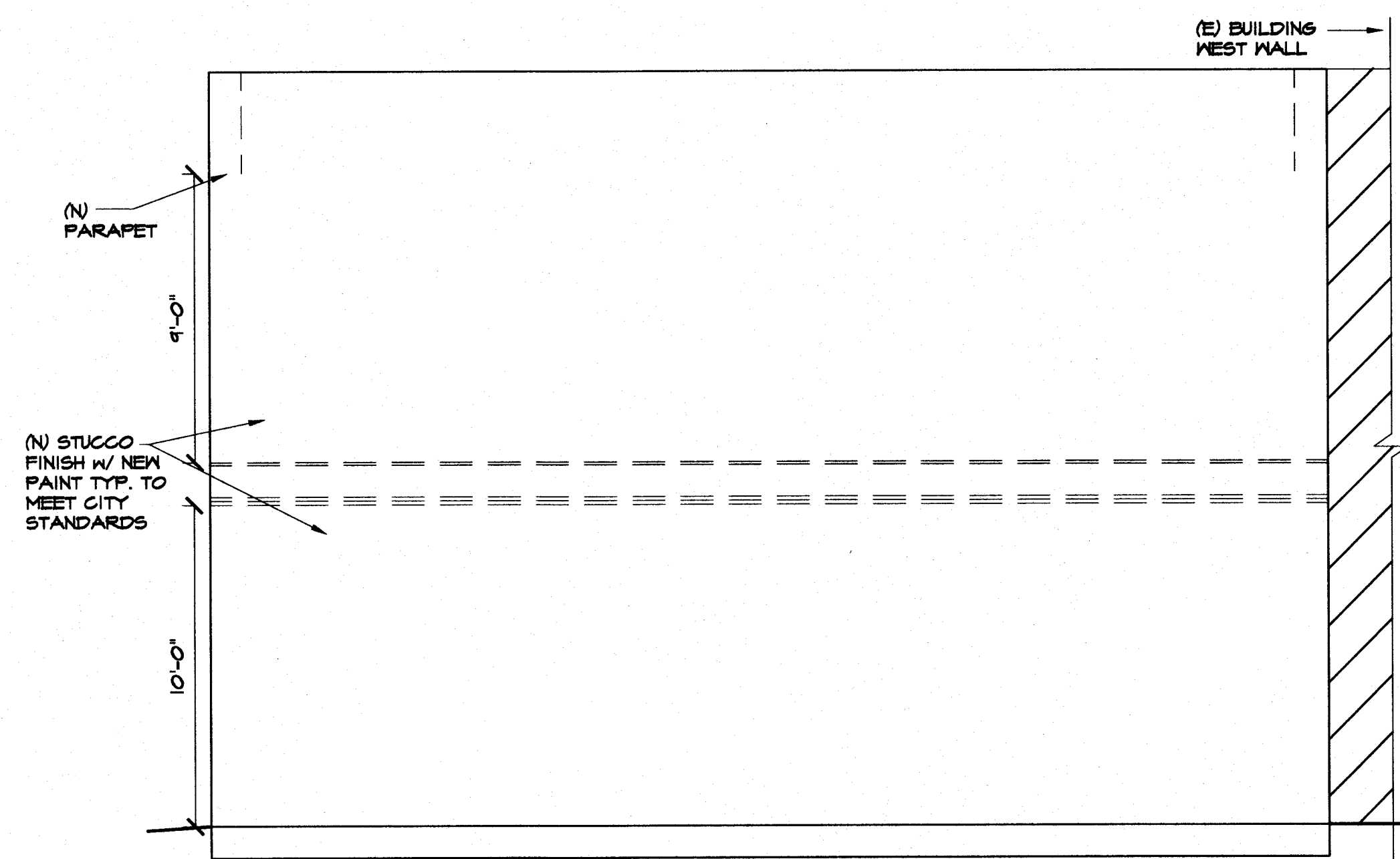
ADDRESS NUMBERS SHALL BE MIN. 6" TALL, CONTRAST WITH BACKGROUND, BE CLEARLY VISIBLE FROM THE PRIMARY ROADWAY AND BE ILLUMINATED EITHER INTERNALLY OR EXTERNALLY BETWEEN DUSK AND DAWN DAILY. TURLOCK MUNICIPAL CODE 4-3-204 (g).



2 WEST REBUILD ELEVATION
SCALE: 1/4"=1'-0"



3 NORTH REBUILD ELEVATION
SCALE: 1/4"=1'-0"

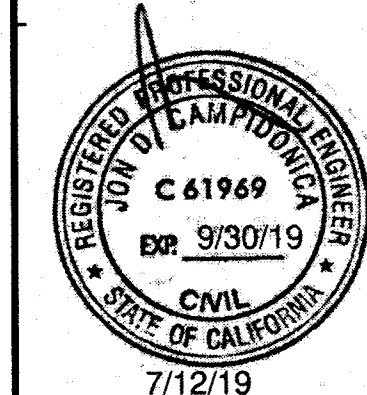


4 SOUTH REBUILD ELEVATION
SCALE: 1/4"=1'-0"

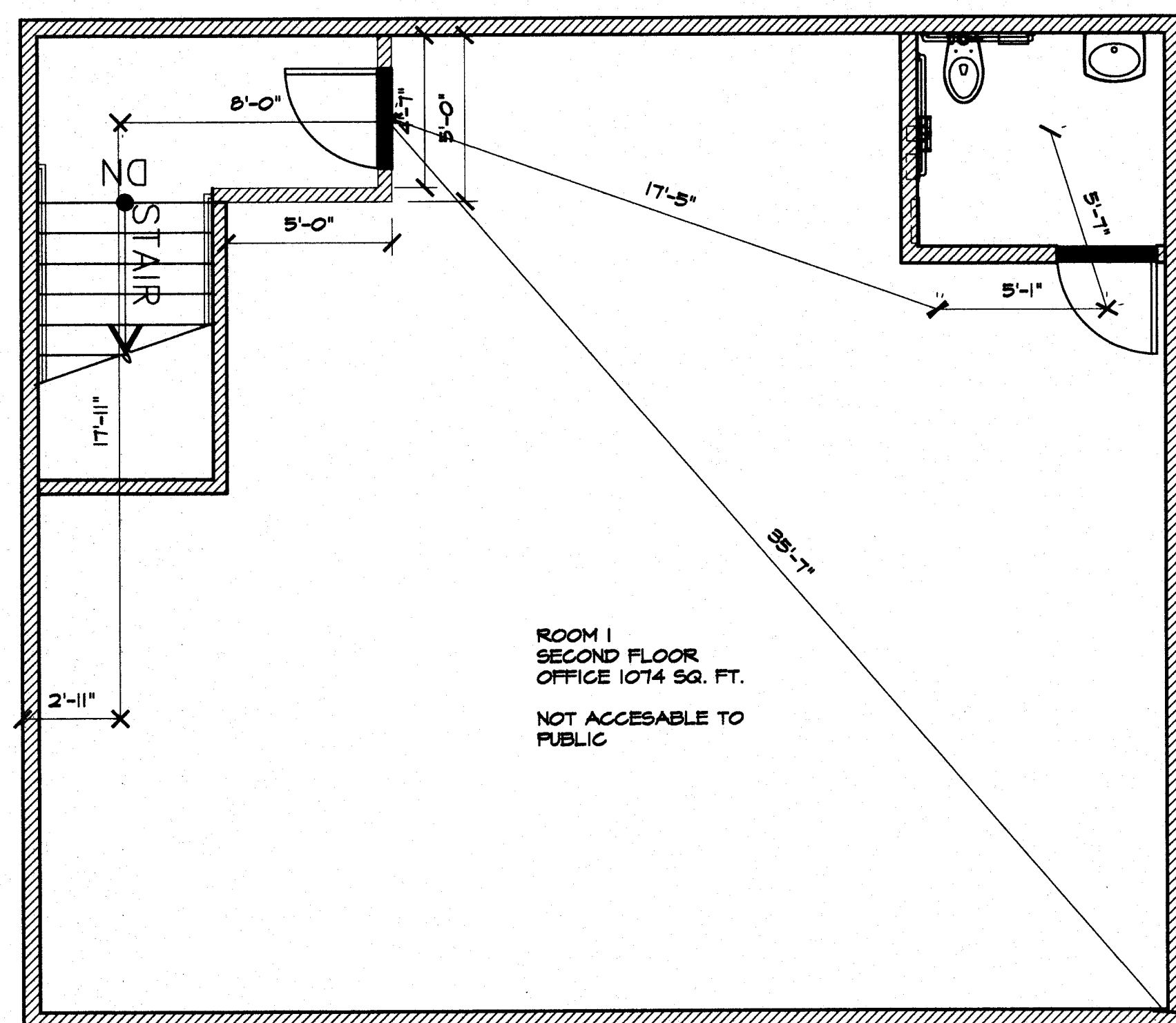
Rev	Submittal	Revisions	App	Date
1	PLAN REVIEW			1/13/2019
2				4/10/2019

PROPOSED TENANT IMPROVEMENT
39 MILESTONE
128 S. CENTER ST.
TURLOCK, CA. 95380
408-316-7505
APN: 061-018-009

Jon D. Campidonica P.E.
2613 Turner Road
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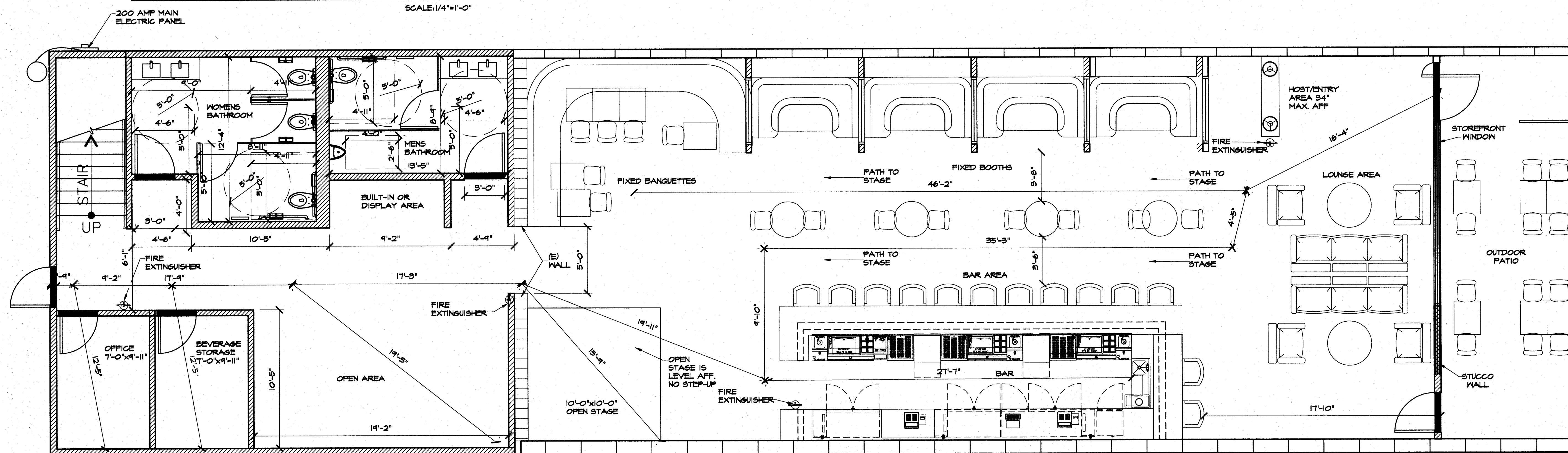
DRAWN BY: Frank Rodriguez
CWD BY: JC
DATE: 3/1/21
JOB NO: 2204-1000
SHEET NO.



2ND LEVEL OCCUPANCY AND EGRESS PLAN

OCCUPANCY SCHEDULE

ROOM #	DESCRIPTION	AREA SQ. FT.	OCCUPANCY LOAD FACTOR SQ. FT. PER PERSON	OCCUPANCY LOAD	EXITS REQUIRED	EXITS PROVIDED	TRAVEL DIST. TO EXITS (FT.)	NOTES
1	2ND FLOOR	1074	100	11	1	1	63'-4"	
2	OFFICE	70	100	1	1	1	14'-2"	
3	WALK-IN COOLER	70	-	-	1	1	21'-7"	
4	MAIN LOUNGE/BAR AREA	2267	15	151	2	2	73'-3"	
-	OUTSIDE SITTING	310	-	-	-	-	-	
-	OPEN AREA	201	15	13	-	-	37'-2"	
-	BEHIND BAR	-	-	-	-	-	94'-0" / 42'-0"	
-	-	-	-	-	-	-	-	
TOTAL OCCUPANT LOAD FOR PRIMARY BUILDING EXITING				191	2	2		



OCCUPANCY AND EGRESS PLAN

SCALE: 1/4" = 1'-0"

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Rev	Revisions	App	Date
△	Submission		2/19/2019
△	PLAN REVIEW 1		4/10/2019
△			

PROPOSED TENANT IMPROVEMENT

**SED TENENT IMPROVE
39 MILESTONE
128 S. CENTER ST.**

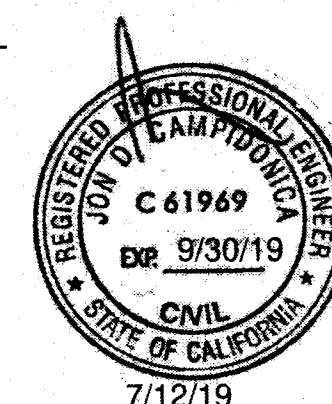
408-316-7505
APN: 061-018-008

408-316-7303
APN: 061-018-009

Jon D. Campdonica P.E.

D. Campdonica P.
22613 Turner Road
Ceres, Ca. 95307

**res, Ca. 95307
209-484-9782**



DRAWN BY: Frank Rodriguez

CHKD BY: JDC

DATE: 9/20/17

JOB NO: CONAL 11050

SHEET NO.

... ..

Abstract

A3

AC

1. *Journal of the American Medical Association*, 2000; 284: 1039-1044.

1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 26